

Site History

Transportation has played an active role in the growth of Albuquerque beginning with the 1598 inception of El Camino Real de Tierra Adentro later known as US Highway 85 and Route 66, part of a U.S. Transcontinental Highway system, all historic journey's down 4th street and CUATRO'S front door. It is fitting that the business that sprang up on the site was a car dealership. With commercial businesses supporting the automobile on 4th street, the surrounding neighborhoods of modest single family residences were homes for a growing community. 4th street has gone through the same changes as Albuquerque's downtown, decline, "urban renewal" and gentrification. An urban rebirth has recently begun at Albuquerque's crossroads, giving rejuvenation to downtown's urban character with the renovation of commercial properties and new construction of loft style apartment buildings, people want to live again in the downtown core.

Neighborhood Context

North 4th Street is a metropolitan redevelopment AREA (MRA). In 2006 the City established the North Fourth Street Rank III Corridor Plan to help guide that redevelopment. As part of that Plan, CUATRO'S segment of 4th Street was designated as the North Fourth Transit Oriented Development District, whose goals are to create a highly livable and distinctive place, provide safety of all street users, support Urban Revitalization and Private Investment in retail and high density housing, and maximize landscaping throughout the corridor. CUATRO is part of the Wells Park Neighborhood which is undergoing a resurgence of interest. Small homes attract individuals with modest needs interested in moving back to Albuquerque's heart. This has drawn artists and non-traditionalists to take root and fix things up. Empty nesters and seniors who have deep roots there do not have options to stay in the neighborhood.

We know that there is a desire from "Generation Z" to live in urban areas, carless, where mass transit, bicycles and two feet can get you to where you want to go. CUATRO is designed to serve "The Baby Boomers" who are 55 and older of modest income. As with the four seasons of the year, they are moving into the fourth season of life, and CUATRO is designed to meet the challenges that come with age. Our goal is to create a high density transit oriented development that supports seniors in the area desiring to "stay put" and those looking for the ease of walking, biking and taking advantage of public transit. That forms the basis of CUATRO'S home on 4th.

Community Involvement

The Wells Park and Sawmill Neighborhood Associations have been actively involved in the approach CUATRO would take in its design. Public meetings were held on several occasions over the last three years to discuss the community's needs and potential development of the site. The project, originally conceived as townhomes fronting the side streets and an apartment building facing 4th, later a high density 5 story apartment block encompassing the entire block into what has evolved into our design. The scale of 4th street grows taller the closer you move to the City's core. A monolithic block long structure is not appropriate for the neighborhood.

Building Design

The contemporary New Mexico vernacular building style holds elements comprised of human scaled materials beginning with burnished CMU on the first floor capable of withstanding public interaction. Building proportions, along with horizontal siding, recessed windows, stucco, varying colors, and balcony details, afford a sense of personal identity for the residents all in context with the residential scale of the neighborhood. The mass of the building is broken up into three small buildings, creating small communities linked by sky bridges, elevators and stairs. Community courtyards separate each building, forming a light well maximizing the amount of fenestrations for each apartment allowing more light and air. The parking courtyard tree lined walls and

landscaping form a solar and wind buffer from the alley and adjoining neighbors to the west, allowing a transition area to exist between the existing single and two story businesses and the complex. The parking court also allows rain and snow to infiltrate back into the ground through the use of permeable paving which will contribute to the restoration of a healthy ecosystem.

A wide pedestrian "Portal" sheltering a drought tolerant tree lined public sidewalk provides protection from the elements for foot traffic moving along 4th street interlacing CUATRO with the street where our transit connection occurs. The colonnade breaks the first floor mass allowing a connectivity into what is going on inside. Pedestrians can get a glimpse into the courtyards through an undulating rebar lattice fence with trumpet vines and honeysuckle adding color and fragrances. At night when 4th street becomes more dormant, building and community activities are on view adding safety to the street.

Building 2 forms the main entry for the public and residents alike. As future residents enter the lobby they have controlled access to the Leasing Office where a living room greets them with lounge seating for the TV or connectivity to the internet and computer room with manager assistance if needed. The kitchenette allows the manager a sales area and resident's outdoor BBQ access. On the other side of the lobby is the community conference room and bathrooms all having direct views on to 4th street and the courtyards reinforcing a safe living and street environment.

A future resident would begin their tour of the complex walking through the controlled access elevator core, mail and a peek out onto the controlled access auto court where ½ of the vehicles are protected from the elements. Cyclist will see the bike storage and repair room. Resident storage areas are on this level. CUATRO becomes a part of the community with activity areas fronting 4th street engaging the neighborhood.

Activity zones begin in Building 1 with a community Kitchen Garden and potting shed for "green thumbs". Planting beds are sitting and standing height allowing an easier access for the senior residents. The Wellness Room and Social Service Coordinators office are here. They can see into CUATRO'S multi-purpose room utilized by the residents for a game of pool, cards, pot-luck dinner or movie night. This area connects to the south courtyard where you can sit with friends to enjoy company, BBQ, take on a game of croquet or sharpen up on their putting on a synthetic lawn. The north tower courtyard allows both BBQ and more meditative activities in the sunken area with white noise created by the water feature encouraging bird bathing. Building 3 holds the exercise, aerobics and dance room also used for shuffleboard. Courtyards are protected from the harsh summer sun by the glass sky bridges with west facing undulating metal solar shades.

One of the needs of our residents who rely on government commodities and the Food Bank is that their "withdrawal" is monthly, creating the need to pick up a months' worth of supplies, haul it home and then find a place to store it. CUATRO'S "Goods Store" will become a "Branch Food Bank" for the residents. Management will link with food service providers depositing qualified residents supplies at the store. CUATRO will then have set hours for resident "withdrawals" over the month eliminating the hassle of hauling and storing.

As one proceeds up into the building they will see wide halls with grab rails allow plenty of leeway for movement in electric scooters, wheelchairs, walkers and canes. Lighting and windows are designed to contend with glare and proper light levels. Towers forms "neighborhoods" centered on a core that encourage resident interaction and provide each a unique, identifying theme and color. Connectivity with your 6 to 9 neighbors forms friendships and supports safety. The laundry room for residents is connected to a roof top observation amenity for dining, socializing and watching sunsets. The solar shade undulates over the area providing protection from the elements.

All of the flats have direct solar access with metal awnings above windows to ensure that residents have warm, comforting sunlight in winter, while minimizing unwanted glare and heat gain in the summer. Private balconies are provided for everyone where their personal identity can be seen.

Bridges have passive cooling towers connected to solar chimneys to provide daytime cooling. Energy costs for the public spaces are supplemented with the use of a solar array and passive hot water heating on the roof.



CUATRO

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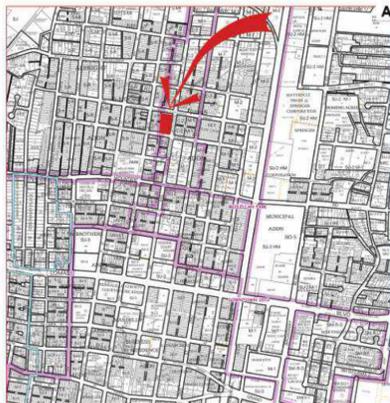
906 1/2 Park Ave SW Albuquerque NM 87102

tel. 505.743.3447



Aerial Map & Panoramic Legend

- A Zone Atlas Map
- B 2005 Aerial Photo of Previous Site Development
- C Current Aerial Photo of Proposed Site
- D Adjacent Site Looking North of Proposed Site
- E Adjacent Site Looking East of Proposed Site
- F Adjacent Site Looking South of Proposed Site
- G Adjacent Site West of Proposed Site Block Looking East



Context Map Photo Legend

- North Valley Senior Center 01
- Bus Stops 02
- Post Office 03
- Fastino's 04
- Wendy's 05
- Saint Theresa Parish 06
- LV Spa Salon & Nails 07
- Hi-Lo Market 08
- Quinto's 09
- Luxury Spa and Nails 10
- Snap Fitness 11
- Dollar Tree 12
- Weeks 13
- Coronado Park 14
- Fire Station 15
- Factory on 5th Art Space & Gallery 16
- Albuquerque Friends Meeting 17
- Chile Bowl 18
- Silverado Fashion 19
- Balloons & Blooms 20
- Napa Auto Parts 21
- Rio Grande Credit Union 22
- Wells Park 23
- Garcia's Kitchen 24
- Alken Printing 25
- Rudy's Downtown Recycling 26
- Albuquerque Healthcare 27
- For the Homeless: Harm Reduction Outreach 28
- The Romero Law Firm 29
- Motor Vehicle Division 30
- U.S. Marshall's Court 31
- Metropolitan Court 32
- 2nd Judicial District Court 33
- Wells Fargo 34
- Albuquerque Police Department 35
- Albuquerque Civic Plaza 36
- Main Library 37
- Kimo Theater 38
- Aldo's Pizzeria 39
- Sushi Izumi 40
- Alvarado Transportation Center 41
- Borekas Senior Center 42

- Cuatro Site
- Streets
- 4th Street
- Interstate
- Railroad
- North Bound Bus Stop
- South Bound Bus Stop

Context Map

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Design Competition Narrative

Greater Albuquerque Housing Partnership
CUATRO, Albuquerque, NM
January 30, 2014

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Context

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906 1/2 Park Ave SW Albuquerque NM 87102
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LEED for Homes (Points) (Maybe Points)

- (ID) Innovation & Design Process (3)
 - 1.1 Integrated Project Planning
 - 1.1.1 Target performance tier: Certified
 - 1.1.2 Integrated Project Team (1)
 - 1.1.3 Professional Credentials with Respect to LEED for Homes (1)
 - 1.1.4 Design Charrette (1)
 - 2. Quality Management for Durability
 - 2.1 Durability Planning
 - a) Durability evolution completed
 - b) Strategies developed to capture durability issues
 - c) Measure control measures from Table 1 incorporated
 - d) Durability strategies incorporated into project documentation
 - e) Durability measures to be in durability inspection checklist
 - 2.2 Durability Management
 - 2.2.1 Third Party Durability Management Verification (2)

- (LI) Location & Linkages (1)
 - 2. Site Selection (2)
 - a) Not built on 100-year flood plain delineated by FEMA
 - b) Not built on hazard or threatened or endangered species
 - c) Not built within 100 ft. of water, including wetlands
 - d) Not built on land that will have public parks prior to acquisition
 - e) Not built on land with prime soil, unique soil, or soil of some significance

- (SS) Sustainable Sites (7.5/5)
 - 1.1 Erosion Control During Construction
 - a) Stabilize and protect disturbed topsoil from erosion
 - b) Control the soil and velocity of runoff with silt fencing or equivalent
 - c) Protect water inlets, streams, and lakes with straw bales, silt fencing, etc.
 - d) Provide access to divert surface water from erosion
 - e) Use silt, erosion blankets, compost blankets, etc. on sloped areas
 - 1.2 Avoidance Disturbed Area of Site (1)
 - a) Build on a lot of 1/7 acre or less, or 7 units per acre.
 - 2. Landscaping (2)
 - 2.1 No Invasive Plant (1)
 - a) Any turf must be drought-tolerant
 - b) Do not use turf in densely shaded areas
 - c) Do not use turf in areas with slope of 25%
 - d) Add much soil amendment as appropriate
 - 2.2 Native Landscaping Design (1)
 - a) All compacted soil must be filled to at least 6 inches
 - b) All compacted soil must be filled to at least 6 inches

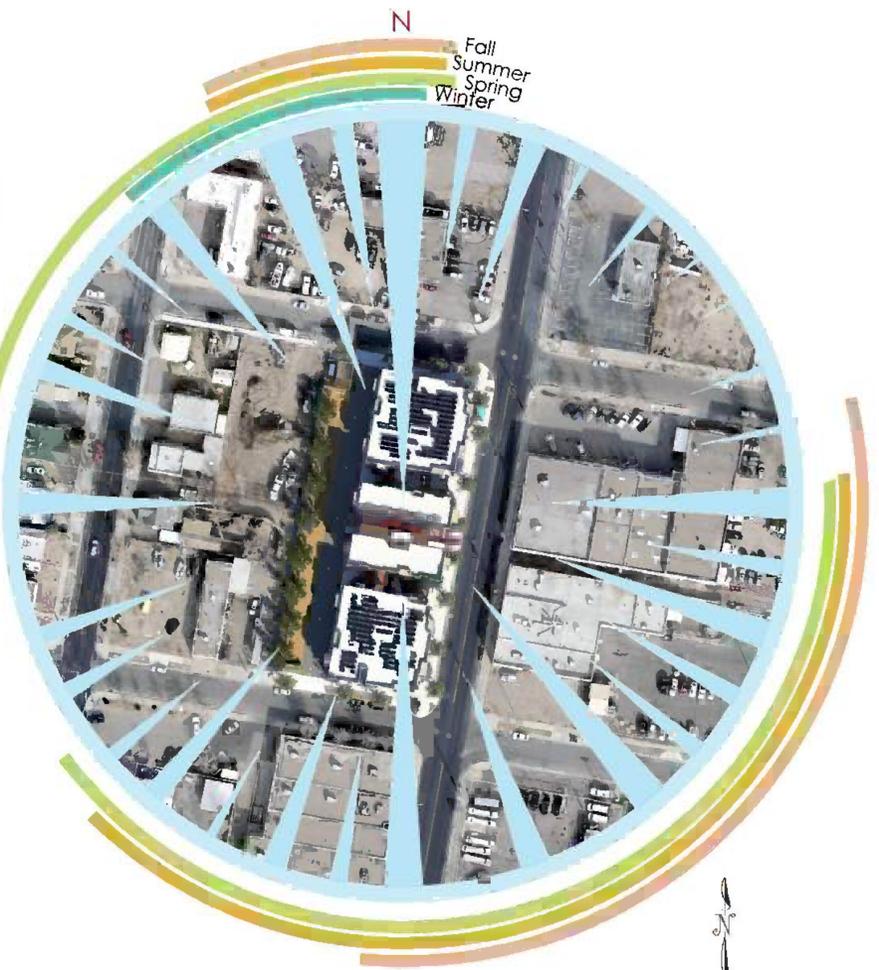
- (WE) Water Efficiency (5)
 - 2.1 High-Efficiency Irrigation System (2)
 - a) Irrigation system with head-to-head coverage
 - b) Initial central shut-off valve
 - c) Initial controller for the irrigation system
 - d) Use area irrigation for 50% of planting beds
 - e) Create separate zones for each type of bedding
 - f) Initial timer or controller for each watering zone
 - g) Initial pressure regulating device
 - h) Initial check valves in main
 - 2.2 Mandatory Inspection (1)
 - Green Inlets
 - 3. Indoor Water Use (1)
 - 3.1 High-Efficiency Fixtures and Fittings (1)
 - a) Average flow rate for all toilets is 1.30 gpf
 - b) Average flow rate for all showers is 1.50 gpm
 - c) Average flow rate for all faucets is 1.50 gpm
 - d) Average flow rate for all showers is 1.75 gpm per stall

- (EA) Energy & Atmosphere (18.5/2)
 - 2.1 Insulation (2)
 - a) Insulation meets R-value requirements of IECC by 5%
 - b) Insulation meets HERS R-value specifications for installation
 - 2.2 Enhanced Insulation (1)
 - a) Insulation exceeds R-value requirements of IECC by 5%
 - b) Insulation meets HERS Grade 1 specifications for installation
 - 3. Air Infiltration (2)
 - 3.1 Reduced Envelope Leakage
 - 3.2 Greatly reduced envelope leakage (2)
 - 3.2 Exceptional Windows (2)
 - 4. Heating and Cooling Distribution System (2)
 - 4.1 Reduced Distribution Losses, Forced Air Systems
 - 4.2 Greatly Reduced Distribution Losses (2)
 - 4.2 Space Heating and Cooling Equipment
 - 4.3 Good HVAC Design and Installation
 - 4.4 High-Efficiency HVAC (2)
 - 4.5 Water Heating
 - 4.6 Pipe Insulation (1)
 - 4.7 Efficient Domestic Hot Water Equipment (2)

- (MR) Materials & Resources (10/1)
 - 1.1 Material-Efficient Framing (1)
 - 1.1.1 Framing Order Waste Factor Limit
 - 1.1.2 Detailed Framing Documents (1)
 - 1.1.3 Detailed Cut List and Lumber Order (1)
 - 1.1.4 Framing Efficiency (2)
 - 1.1.4.1 Precut framing packages
 - 1.1.4.2 Open-web floor trusses
 - 1.1.4.3 Ceiling joist spacing greater than 16" on center
 - 1.1.4.4 Floor joist spacing greater than 16" on center
 - 1.1.4.5 Roof rafter spacing greater than 16" on center
 - 2. Environmentally Preferable Products (2)
 - 2.1 FSC Certified Lumber (1)
 - a) Provide suppliers with a notice of preference for FSC products
 - b) No tropical wood imports
 - 2.2 Environmentally Preferable Products (1) (2)
 - 3. Waste Management (1)
 - 3.1 Construction Waste Management Planning
 - 3.1.1 Investigate local options for waste diversion
 - 3.1.2 Document diversion rate for construction waste

- (EQ) Indoor Environmental Quality (10)
 - 2.1 Combustion Venting (2)
 - 2.1.1 Basic Combustion Venting Measures
 - a) no unvented combustion appliances
 - b) carbon monoxide monitors on each floor (of each unit)
 - c) no fireplace installed
 - d) space, water heating equipment designed with closed combustion
 - 2.2 Enhanced Combustion Venting Measures (2)
 - 4. Outdoor Air Ventilation (2)
 - 4.1 Basic Outdoor Air Ventilation
 - 4.1.1 Intermittent ventilation
 - 4.1.2 Full-Time Performance Testing (1)
 - 5. Local Exhaust (1)
 - 5.1 Basic Local Exhaust
 - a) Bathroom and kitchen exhaust meets ASHRAE 62.2 air flow requirement
 - b) Fans and ducts designed and labeled to ASHRAE 62.2
 - c) All exhausted to outdoors
 - d) ENERGY STAR labeled bathroom exhaust fans
 - 5.2 Full-Time Performance Testing (1)
 - 6. Distribution of Space Heating and Cooling (1)
 - 6.1 Room-by-Room Load Calculations
 - 7. Air Filtration (1)
 - 7.1 Good Filters
 - 7.2 Better Fans (1)
 - 8. Carbon Footprint (1)
 - 8.1 Indoor Contaminant Control During Construction (1)
 - 8.2 Environmental Product Declaration (1)
 - 9. Radon Protection (1)
 - 9.1 Radon-Resistant Construction in High-Risk Areas
 - 10. Garage Pollutant Protection (1)
 - 10.1 No HVAC in Garage
 - 10.2 Detached Garage or No Garage (2)

- (EA) Awareness & Education (2)
 - 1. Education of the Homeowner or Tenant (1)
 - 1.1 Basic Operations Training
 - a) Operations and training manual
 - b) One-hour walkthrough with occupant(s)
 - 1.2 Public Awareness (1)
 - 2. Education of Building Manager (1)
 - 2.1 Education of the Building Manager (1)
 - a) Operations and training manual
 - b) One-hour walkthrough with building manager



Albuquerque Wind Rose



Shadows Summer Solstice 8 am



Shadows Summer Solstice Noon



Shadows Summer Solstice 5 pm



Shadows Winter Solstice 8 am



Shadows Winter Solstice Noon



Shadows Winter Solstice 5 pm



Site Section Looking West - Proposed Topography



Site Section Looking North - Proposed Topography



Site Section Looking West - Existing Topography



Site Section Looking North - Existing Topography



Site Analysis

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Building Schedule	Building 1	Building 2	Building 3	Totals
Building Number	1	2	3	
Number of Units				
01 Efficiency 1	4	0	4	8
02 Efficiency 2	0	2	0	2
03 Efficiency 3	0	0	0	0
04 One Bedroom 1	4	0	4	8
05 One Bedroom 2	4	0	4	8
06 One Bedroom 3	2	0	2	4
07 One Bedroom 4	0	3	0	3
08 Two Bedroom One Bath	0	12	0	12
09 Two Bedroom Two Bath	4	0	4	8
Grass Square Footage	19,045.37	26,301.33	19,632.45	64,979.15
Number of Stories	3	4 + roof amenities	3	
Height of Building	38'-1" - 40'-10"	49'-1" - 61'-2"	38'-1" - 40'-10"	
Square Footage of Ground Floor Plan	3,970.45	4,627.17	4,583.53	13,151.15
Finished Floor Height Elevations				
Ground	0'-0"	0'-0"	0'-0"	
Second	12'-0"	12'-0"	12'-0"	
Third	22'-10"	22'-10"	22'-10"	
Fourth		34'-0"		
Roof Amenities		46'-0"		

Parking Calculations

Note: Parking Calculations are based on the "North 4th Rank III Corridor Plan"
 Required Residential Parking:
 (13) Efficiencies => @ 1.5 space per = 19.5 spaces
 (23) 1 Bedrooms => @ 1.5 spaces per = 34.5 spaces
 (20) 2 Bedrooms => @ 1.5 spaces per = 30 spaces
 Total: 64 Residential Spaces Required

Required Non-Residential Parking:
 2,935 Sq. Ft. Multi-purpose (tenants only) = 0 spaces
 1,711 Sq. Ft. Sales Office => @ 3/1,000 Sq. Ft. = 5.1 spaces
 Shared parking factor 1.4 reduces to = 3.6 spaces
 3,122 Sq. Ft. Exercise Area (tenants only) = 0 spaces
 Total: 3.6 = 4.0 Non-Residential Spaces Required

Parking Reductions:
 NFODD 10% reduction = -8.8 spaces
 §14-16-3 (a) 10% Transit Reduction = 8.8 spaces
 §14-16-3 (b) 5% Transit Shelter = -4.4 spaces
 Total: -22 spaces

Total Required Parking Spaces = 66

Parking Spaces Provided:
 Off-street Parking Provided:
 (38) Standard Spaces*
 (14) Compact Spaces
 (4) Accessible Spaces
 57 Off-street Parking Spaces Provided

On-Street Parking Provided:
 (16) Standard Spaces

Total Parking Provided 72 > 66 Required Parking Spaces

* (10) additional space available with "tandem" parking, not counted
 (4) Accessible Parking Spaces
 (4) Motorcycle Spaces
 (18) Interior Bicycle Parking Spaces

General Notes

- North Fourth Transit Oriented Development (NFODD) Height: 4 stories with a maximum of 61'-2"; 3 stories with a maximum of 40'-10"; Ground Story Clear Height = 10'-0" minimum
- Setbacks per Sector Development Plan: 0'-10" Front setback @ 4th Street (D provided); 0'-10" Side street setback @ Summer & Kihley Avenue; 5'-10" Rear setback including alley width
- Topography/ Drainage: Site is relatively flat. Drainage is predominately from East to West, leading from the parking lot to the West edge planter.
- Property is 0.979 Acres.
- Zoning is C-2.
- Existing utilities near site: COMM = Phone & Internet; DW = Domestic Water; GAS = Natural Gas; SAS = Sanitary Sewer; UGE = Electrical

Site Plan Legend

- Barbecue area with picnic tables.
- Rolling steel automatic gate.
- Recycling bins.
- Refuse compactor enclosure with gate.
- 6" tall cmu block wall.
- Typical property line.
- 4" tall CMU wall with 6" tall rebar fencing.
- Concrete paving.
- Concrete walkway.
- Asphalt paving.
- Mail boxes.
- Accessible curb ramp, typical.
- Fire sprinkler closet.
- Pole light fixture, typical.
- Proposed city bus shelter.
- accessible elevators.
- Secure bicycle building.
- Permeable paving / gravel / retention.
- Kitchen garden.
- "No Entry" sign.
- Croquet court / putting.
- Building above.
- Double-sided water feature.
- Sunken meditation courtyard.
- Exercise / stretching area.
- Electrical room.
- Unit storages.
- HVAC room.
- Troch chute.
- Patio storage.
- Phone / CATV Dish room.
- Restrooms and drinking fountains.
- Custodial closet.
- Storage.
- Community / multipurpose room.
- Wellness room.
- Social service coordinator's office
- Community conference room.
- Kitchenette.
- Computers.
- Manager's office.
- Exercise area.
- Stretching / aerobics / shuffleboard.
- Good's store.
- Store patio.
- Automatic Sliding Door.
- Automatic Door Controller.
- Existing fire hydrant.
- Proposed fire hydrant.
- Synthetic lawn.

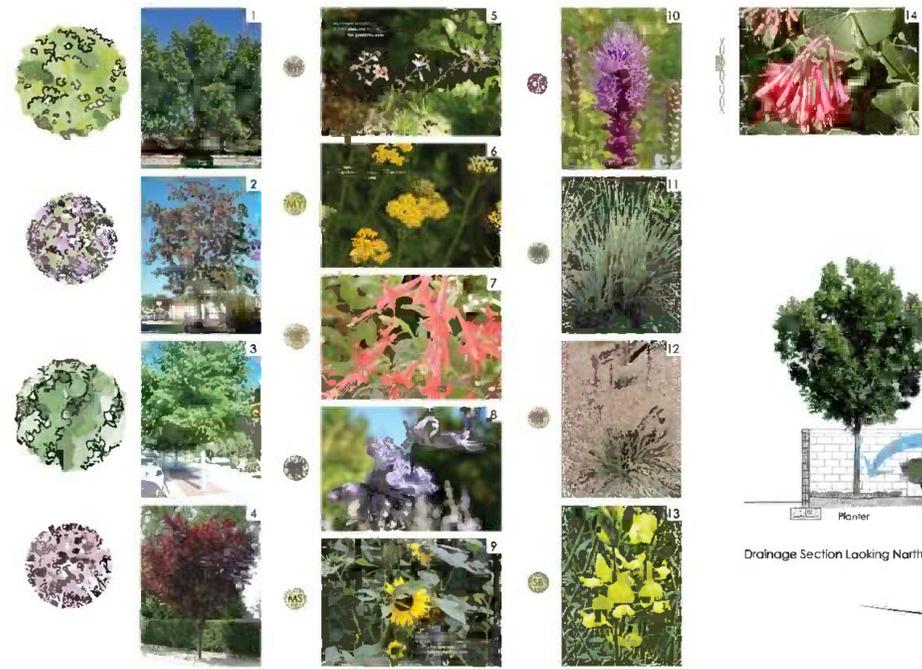
Design Review Considerations

- A pedestrian friendly building layout with accessible walks to all areas of the site and three buildings. Buildings linked by enclosed walkways. Path shows connection from parking and sidewalk to all three buildings.
- The visibility of the parking court is reduced by placing it behind the buildings and within walls and vegetation on the other three sides. A secured parking lot encourages parking behind the buildings over street parking. The public streetscape is enhanced by a partial colonnade walkway for pedestrians and ground level public spaces.
- Two private outdoor bbq areas are provided between each building sheltered from the western sun. An exercise room with large stretching area, aerobics, or shuffleboard and a good's store are provided in building 3.
- Two vegetated outdoor seating areas, a kitchen garden for vegetables and herbs, croquet lawn, and sunken meditation courtyard with a flower garden are all outdoors in shaded areas.
- Amenities include a multipurpose room with billiards, movie seating, and kitchenette / dining areas. This area can also be opened up to create a large multipurpose room. A coordinator's office and wellness room can be utilized for on site medical care. Building 2 has the manager's office, a conference room, and elevators for ease of access to all buildings and levels. The roof deck of Building 2 has shaded outdoor seating, dining, and BBQ for relaxed outdoor viewing and conversation.
- The front entry is clearly defined with a large vertical sign that can be lit up at night, and it uses a vestibule to separate from the elements. Its central location is accentuated by a tree streetscape walkway.
- All permanent landscaping is drought tolerant and either in beds of crusher fines or tree grates. The site generally slopes to the west to allow the drainage to run into the west parking retention area and vegetative area that spans the site. Please see page 05 for the landscape plan.

Site Plan

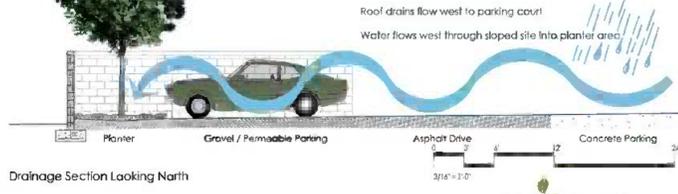
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04



Common Name	Botanical Name	Mature Size	Installed Size	Picture Number	Picture Source
Modesto Ash	<i>Fraxinus velutina</i>	30-40' H x 25' W	2' Caliper	1	J. Reimer @ CalPoly.edu
Purple Robe Locust	<i>Robinia Pseudacacia</i>	40-50' H x 20-35' W	2" Caliper	2	
Raywood Ash	<i>Fraxinus oxycarpa</i>	30-45' H x 20-25' W	2" Caliper	3	
Purple Leaf Plum	<i>Prunus cerasifera</i>	30-40' H x 25-35' W	2" Caliper	4	M. Rifer & J. Reimer @ CalPoly.edu
Bowles Mauve Wallflower	<i>Erysimum linifolium</i>	18-24" H x 18-24" W	5 Gal.	5	Antonie van Den Bos for aycronfo.com
Maarshne Yarrow	<i>Achillea sp.</i>	18-24" H x 18" W	1 Gal.	6	Antonie van Den Bos for aycronfo.com
Hummingbird Trumpet	<i>Zauschneria altonica</i>	3' H x 24" W	5 Gal.	7	Stan Shebs @ Wikimedia Commons
Russian Sage	<i>Perovskia atriplicifolia</i>	3-5' H x 4' W	5 Gal.	8	Stan Shebs @ Wikimedia Commons
Maximilian's Sunflower	<i>Helianthus maximiliana</i>	6-8' H x 48" W	15 Gal.	9	Antonie van Den Bos for aycronfo.com
Gayfeather	<i>Liatris punctata</i>	2' H x 30" W	1 Gal.	10	Chrimps @ Wikimedia Commons
Blue Avena	<i>Helictotrichon sempervirens</i>	18" H x 18-24" W	1 Gal.	11	Stan Shebs @ Wikimedia Commons
Red Yucca	<i>Yucca filamentosa</i>	5' H x 36" W	5 Gal.	12	Stan Shebs @ Wikimedia Commons
Spanish Broom	<i>Spartanum junceum</i>	8' H x 8" W	5 Gal.	13	Karl Schuber @ Wikimedia Commons
Trumpet Honeysuckle Vine	<i>Lonicera sempervirens</i>	10-12' H x 48" W	5 Gal.	14	Stan Shebs @ Wikimedia Commons

* Irrigation System meet LEED (WE) 2.1 High-Efficiency Irrigation System b, c, d, e, f, g, h, and i



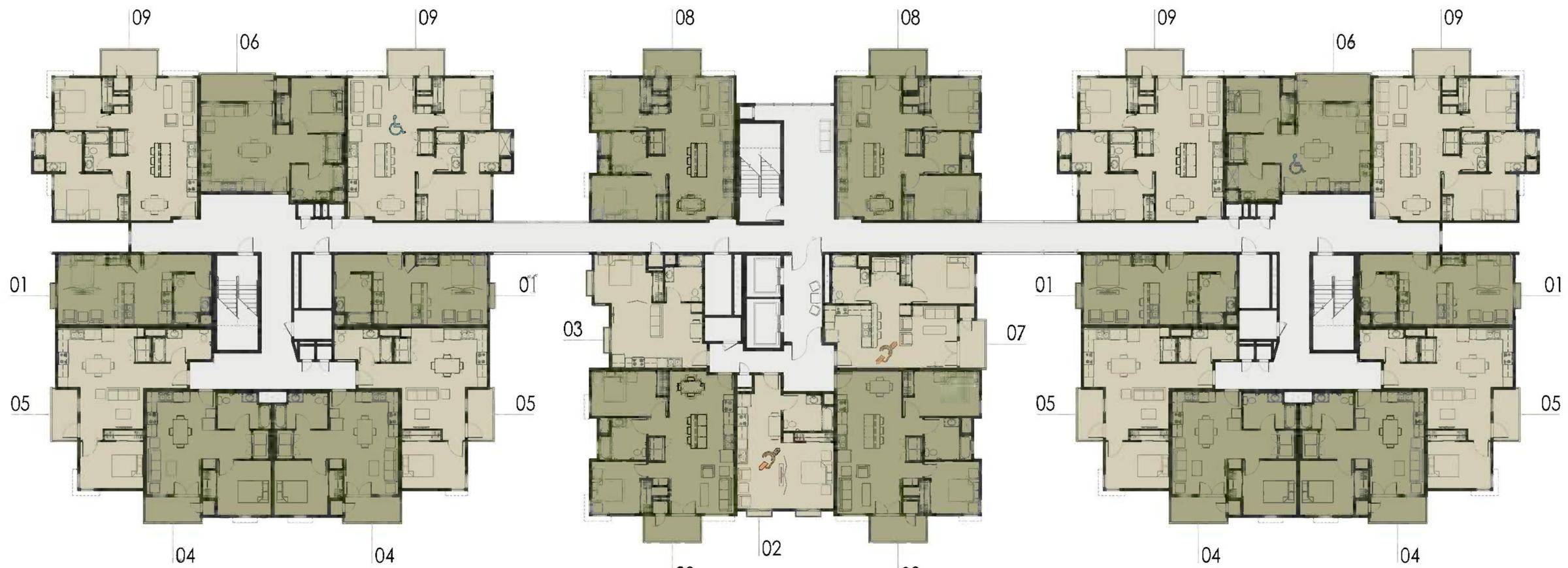
Possible varieties of herbs, vegetables, and fruits for Herb Garden. All picture sources from Antonie van Den Bos for aycronfo.com. Possible varieties of perennials and bulbs for Flower Garden.

Landscape Plan

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Building 1

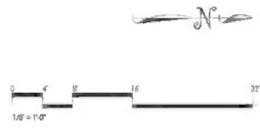
Building 2

Building 3

- 01 Efficiency 1
- 02 Efficiency 2
- 03 Efficiency 3
- 04 One Bedroom 1

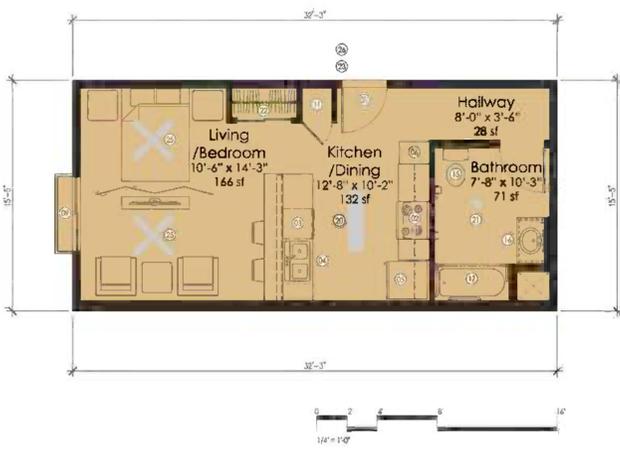
- 05 One Bedroom 2
- 06 One Bedroom 3
- 07 One Bedroom 4

- 08 Two Bedroom One Bath
- 09 Two Bedroom Two Bath



01
Efficiency 1 Unit
481 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



02
Efficiency 2 Unit
533 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



03
Efficiency 3 Unit
501 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



Floor Plan Legend

- Accessible Units
- Special Needs Units for Visual & Hearing Impaired

MFA accessible units required = 5%
 56 total units * 5% = 2.8 units = 3 units minimum
 International Building Code accessible units required = 4 units
 4 accessible units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom
 4 special needs units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom

Second Floor Plan

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04 One Bedroom 1 Unit 625 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



05 One Bedroom 2 Unit 676 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



06 One Bedroom 3 Unit 667 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet at accessible vanity.
 17. Bath/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



Floor Plan Legend

- Accessible Units
- Special Needs Units for Visual & Hearing Impaired

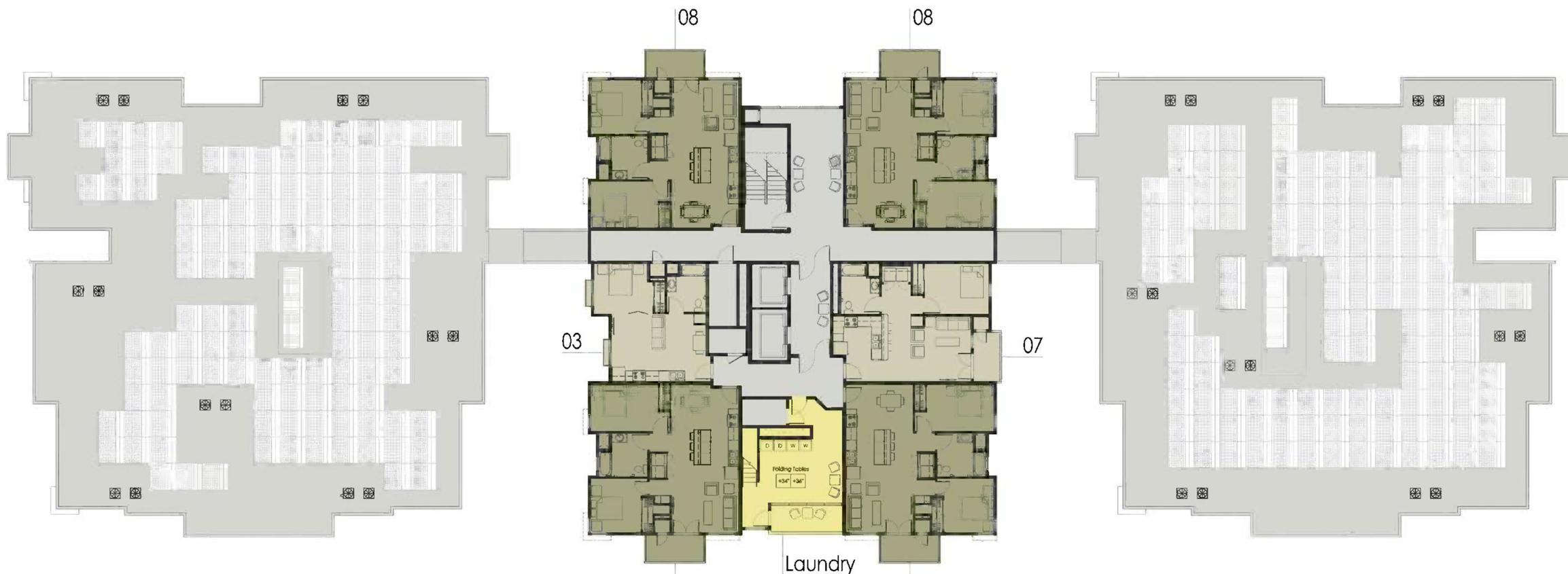
MFA accessible units required = 5%
 56 total units * 5% = 2.8 units ≈ 3 units minimum
 International Building Code accessible units required = 4 units
 4 accessible units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom
 4 special needs units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom

Third Floor Plan

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Building 1: 01 Efficiency 1, 02 Efficiency 2, 03 Efficiency 3
 Building 2: 04 One Bedroom 1, 05 One Bedroom 2, 06 One Bedroom 3, 07 One Bedroom 4
 Building 3: 08 Two Bedroom One Bath, 09 Two Bedroom Two Bath

07
 One Bedroom 4 Unit
 676 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet of accessible vanity.
 17. Bathtub/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



08
 Two Bedroom One Bath Unit
 879 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet of accessible vanity.
 17. Bathtub/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



09
 Two Bedroom Two Bath Unit
 931 total gross square feet

- Legend**
01. Zero step threshold with single lever deadbolts and dual eye viewers at entry door.
 02. Range with Energy Star hood that vents to exterior.
 03. Energy Star rated dishwasher.
 04. Stainless steel kitchen sink with 1.5 gpm low-flow fixture.
 05. Energy Star rated refrigerator freezer.
 06. Kitchen pantry.
 07. Energy Star rated washer.
 08. Dryer that vents to exterior with storage above.
 09. Balcony.
 10. Mechanical closet with electric heat pump.
 11. Linen closet.
 12. Energy Star windows.
 13. Solar control window shade.
 14. Accessible roll-in shower with grab bars and 2.0 gpm low-flow showerhead.
 15. 1.6 gpm low-flow water closet with vertical grab bar. Add horizontal grab bars at all accessible units.
 16. 1.0 gpm low-flow bathroom faucet of accessible vanity.
 17. Bathtub/shower with grab bars and 2.0 gpm low-flow showerhead.
 18. 1.6 gpm low-flow water closet.
 19. 1.0 gpm low-flow bathroom faucet.
 20. Energy Star light fixture at all rooms.
 21. Energy Star exhaust fan with humidistat that vents to exterior.
 22. Closet.
 23. Strobe door bell at all units.
 24. Strobe smoke detector / CO detector at special needs units only.
 25. Energy Star ceiling fan at living and bedrooms.
 26. Accessible unit signage.



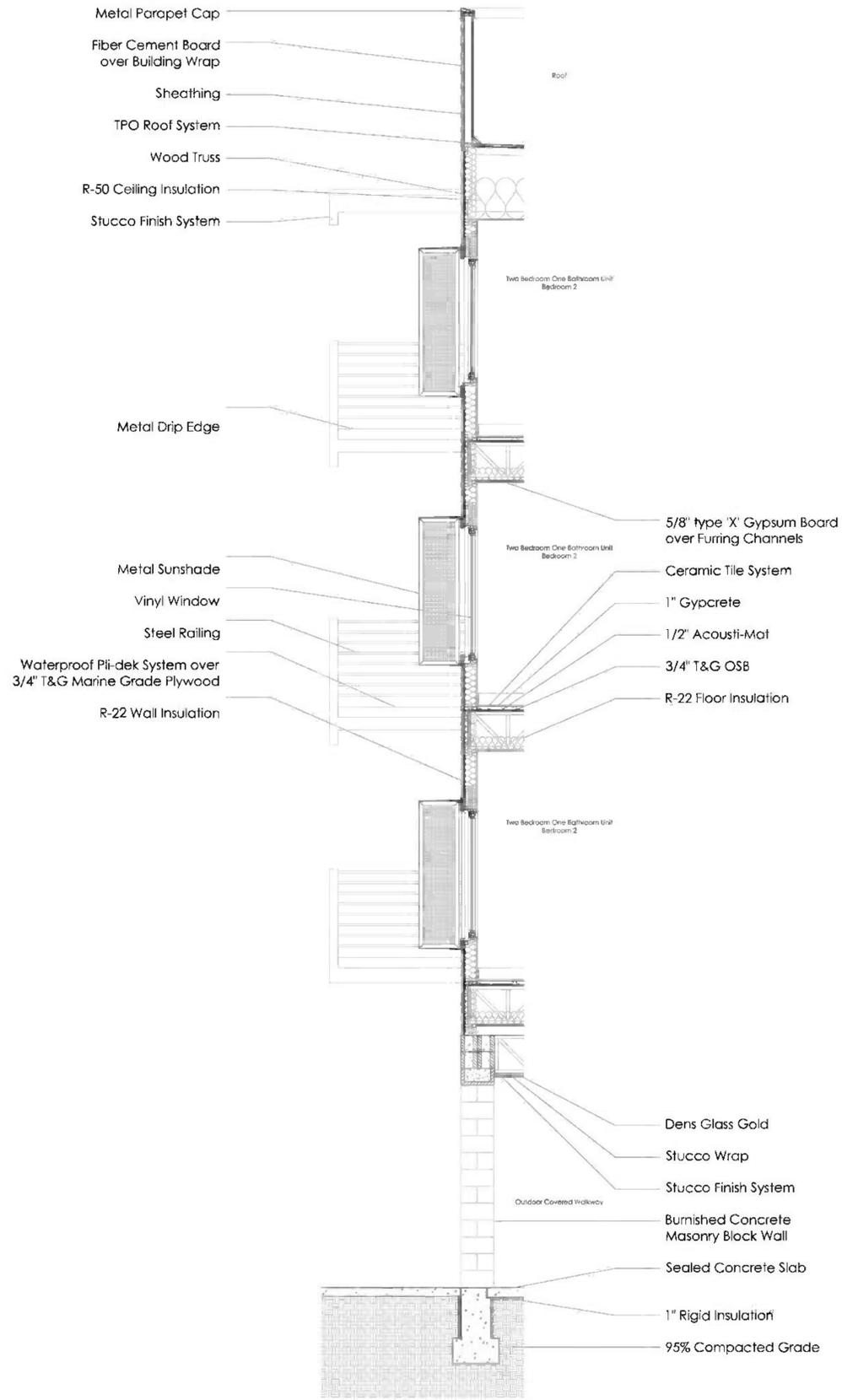
Floor Plan Legend
 Accessible Units
 Special Needs Units for Visual & Hearing Impaired

MFA accessible units required = 5%
 56 total units * 5% = 2.8 units = 3 units minimum
 International Building Code accessible units required = 4 units
 4 accessible units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom
 4 special needs units provided: 1 efficiency, 2 one bedroom, & 1 two bedroom

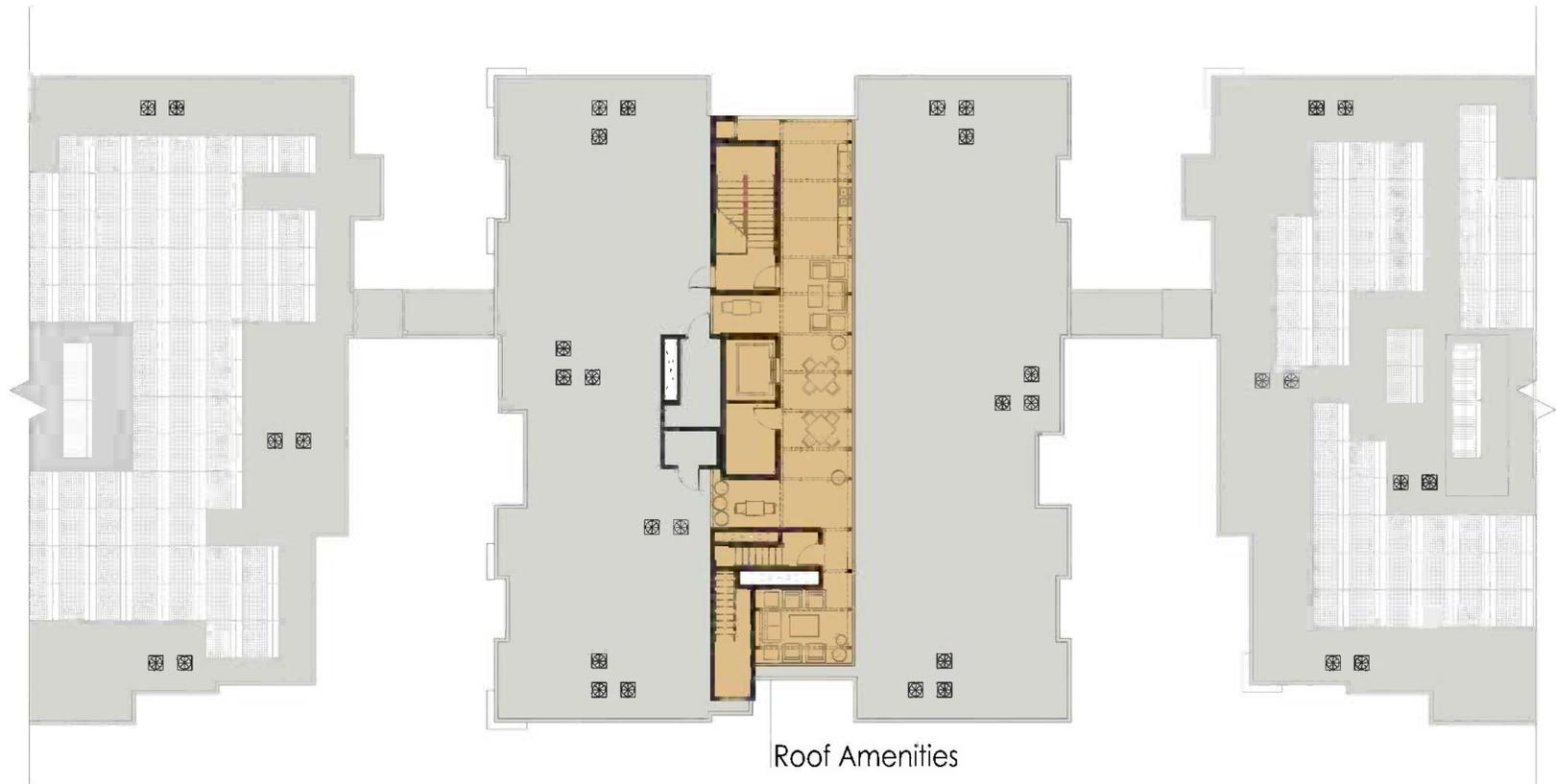
Roof Plans

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08



Wall Section



Building 1

Building 2

Building 3



Unit Floor Plan Design

08 Two Bedroom One Bath Unit

879 total gross square feet > 750 gross square feet minimum for Two Bedroom Unit
Bulk Storage is located on ground floor

- 01 LEED SS 5b. Install pest proof screens
- 02 LEED WE 3.1.c. Water closet < 1.30 gpf
- 03 LEED WE 3.3.2a. Kitchen faucet < 1.50 gpm and Lavatory faucet < 1.0 gpm
- 04 LEED WE 3.3.2 b. Shower < 1.75 gpm
- 05 LEED MR 2.2.2 All ceramic flooring
- 06 LEED EQ 5.5.1 a-d. Energy Star Bathroom & Kitchen exhaust meet ASHRAE and exhaust to outdoors
- 07 Accessible bathtub. All units are adaptable
- 08 Grab bars are in all units of the shower / bathtub and vertical grab bars are in all units at the water closet for increased safety. Horizontal grab bars are in all accessible units at the water closet
- 09 Lavatory and countertop with removable cabinet below for increased accessibility
- 10 Recessed medicine cabinet for storage whether the cabinet remains or not
- 11 Bedroom located away from busiest street (4th Street NW)
- 12 Built-in linen closet outside of bathroom
- 13 Built-in kitchen pantry
- 14 Zero step entrance
- 15 36" minimum width on all doors
- 16 Single lever deadbolt and dual eye viewers on door
- 17 Plumbing located on interior walls only
- 18 Energy Star refrigerator
- 19 Upper and lower kitchen cabinets
- 20 Range with Energy Star hood
- 21 9'-10" wide bedroom > 9'-0" minimum bedroom width
- 22 10'-4" wide bedroom > 9'-0" minimum bedroom width
- 23 125 square foot bedroom > 120 square foot minimum bedroom size
- 24 Low-maintenance factory finished cement fiber board exterior
- 25 Solar control window shade
- 26 Energy Star vinyl window
- 27 Easy access to furnace closet
- 28 Covered outdoor balcony
- 29 Waterproof Pli-dek system
- 30 Low-maintenance stucco exterior finish
- 31 Extra lower rod and shelf at accessible units
- 32 Clothes dryer
- 33 Energy Star clothes washer
- 34 Shelf above laundry for storage
- 35 Energy Star dishwasher
- 36 Sliding sun screens
- 37 Accessible unit signage

Roof Plan

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South Elevation - Building 1



South Elevation - Building 3



- 01 Burnished concrete masonry block wall
- 02 Stucco system - main color
- 03 8" fiber cement board - green
- 04 Courtyard seating area
- 05 Backlit perforated metal sign
- 06 Free grate
- 07 Aluminum storefront windows & door
- 08 Solar water heater
- 09 Loading gate
- 10 TPO roof system
- 11 Metal sunshade overhang
- 12 Solar panels beyond
- 13 8" fiber cement board - brown
- 14 Roof seating area with pergola
- 15 Stucco system - accent color
- 16 CMU wall planter
- 17 Steel railing
- 18 Waterproof PEX-cel system
- 19 Sliding sun screens
- 20 8" x 8" glass block window
- 21 Unslating 60% sun shade
- 22 Vinyl window
- 23 Automobile entrance gate
- 24 Permeable / gravel parking lot
- 25 Road stud parking markings
- 26 Rebar fence
- 27 Metal garage door
- 28 Dumpster
- 29 Hollow metal door
- 30 Bridge walkway
- 31 Fiberglass door
- 32 Solar chimney
- 33 Passive cooling tower
- 34 Herb garden planters



East Elevation

Wall Section
See Page 09





North Elevation - Building 3



North Elevation - Building 2



- 01 Burnished concrete masonry block wall
- 02 Stucco system - main color
- 16 CMU wall planter
- 17 Steel railing
- 18 Waterproof Pk-dek system
- 19 Sliding sun screens
- 20 8'x8' glass block window
- 21 Undulating slats sun shade
- 22 Vinyl window
- 23 Automobile entrance gate
- 24 Permeable / gravel parking lot
- 25 Road stud parking markers
- 26 Rebar fence
- 27 Metal garage door
- 34 Herb garden planters

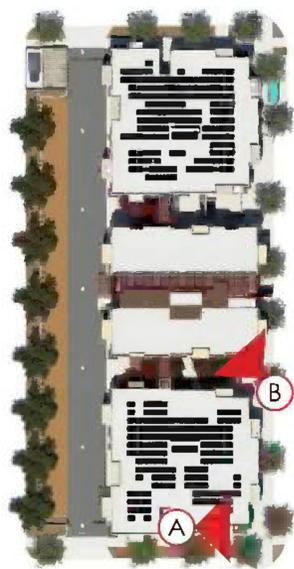
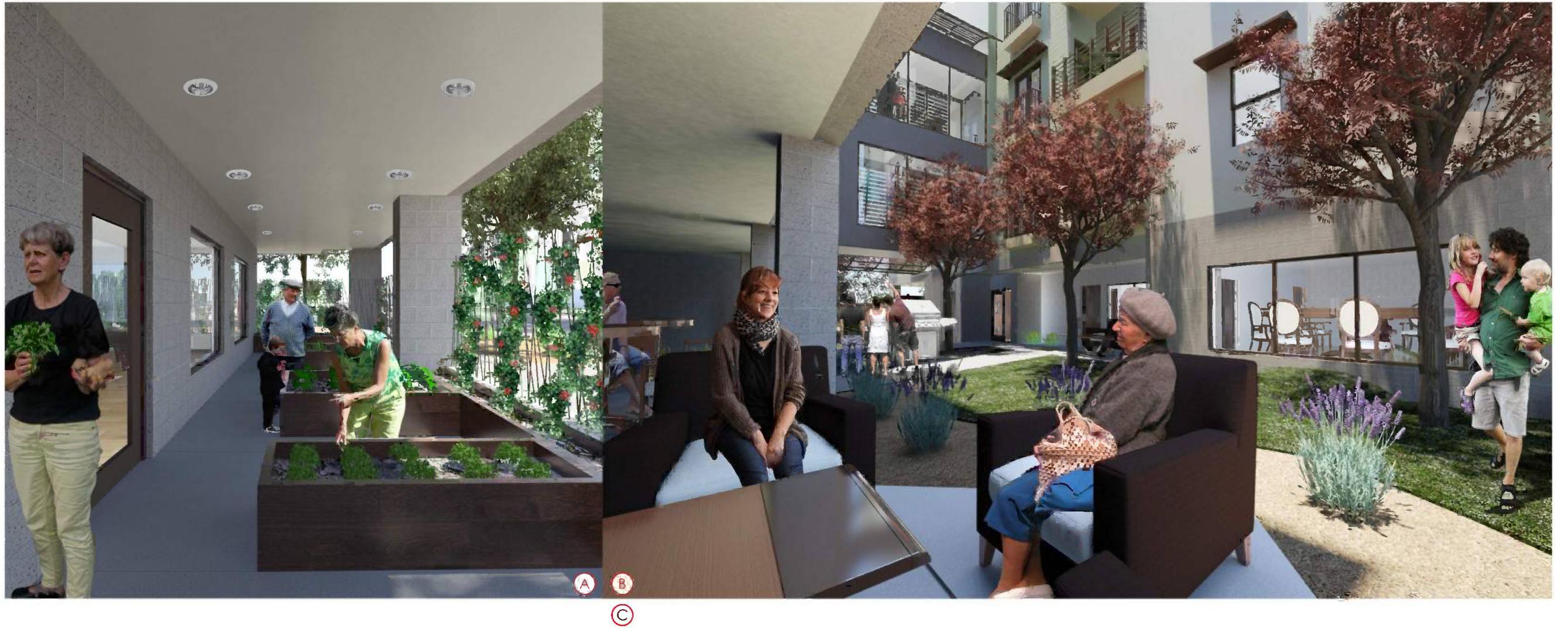
- 04 Courtyard seating area
- 05 Backlit unit number sign
- 06 Tree gate
- 07 Aluminum storefront windows & door
- 08 Solar water heater
- 09 Loading gate
- 10 TPO roof system
- 11 Metal sunshade overhang
- 12 Solar panels beyond
- 13 8" fiber cement board below
- 14 Roof seating area with pergola
- 15 Stucco system - accent color
- 28 Dumpster
- 29 Hollow metal door
- 30 Fiberglass door
- 32 Solar chimney
- 33 Passive cooling tower
- 34 Herb garden planters



West Elevation



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 11



View Key Plan



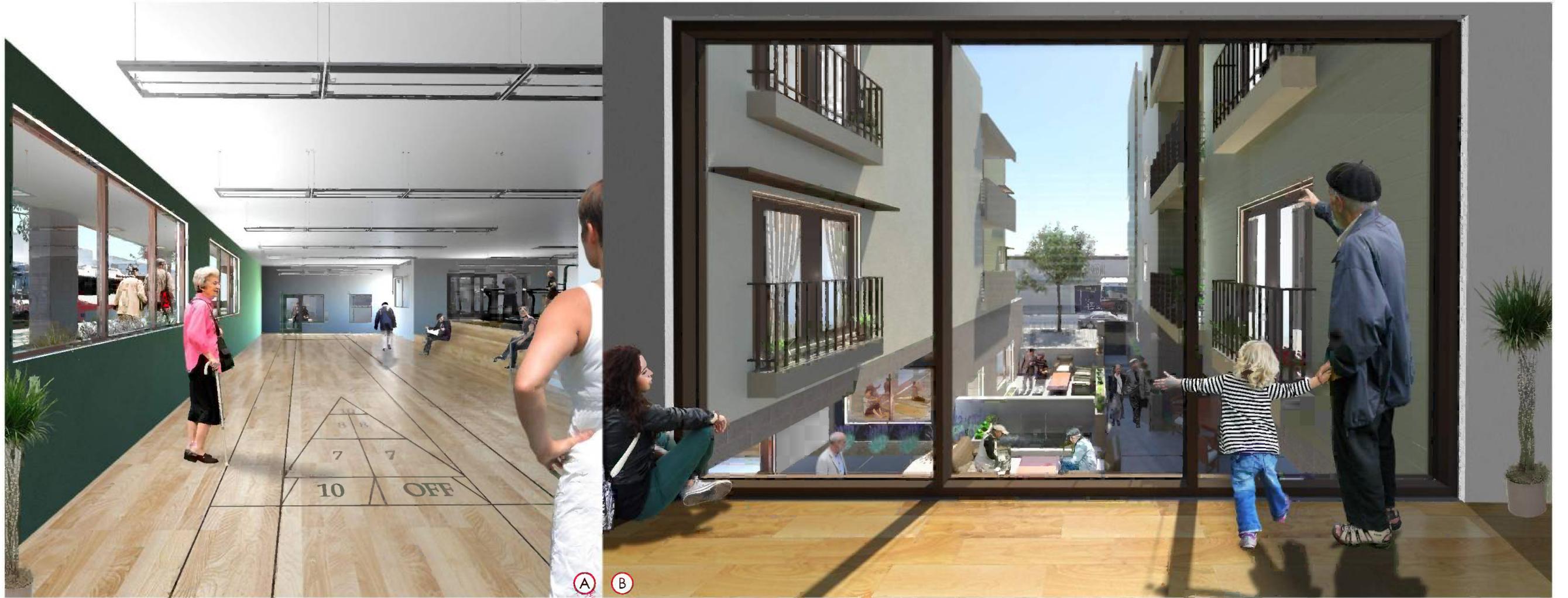
Perspectives

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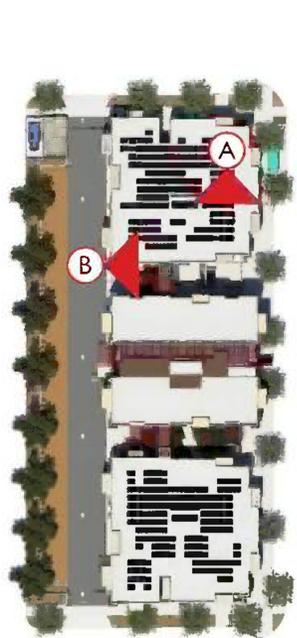
906 1/2 Park Ave SW Albuquerque NM 87102

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(A) (B) (C)



View Key Plan



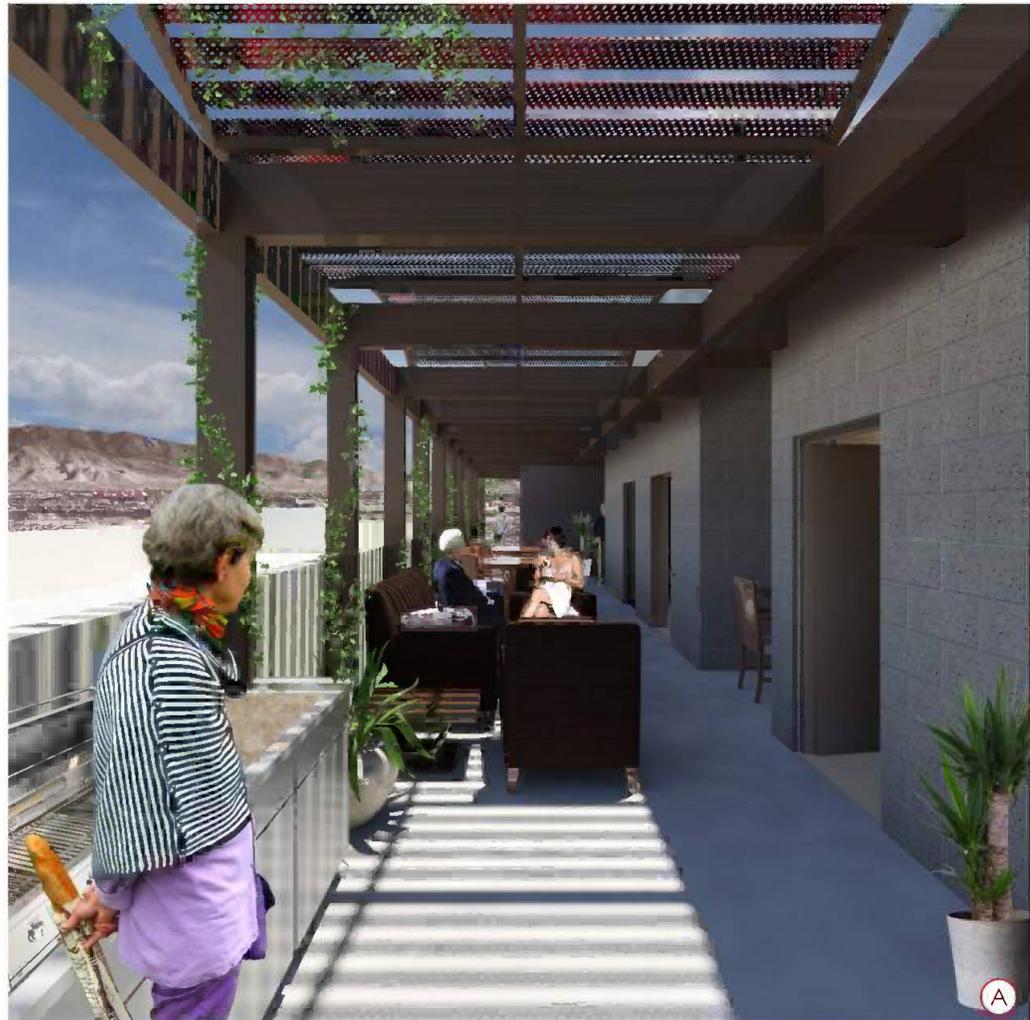
Perspectives

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A
B
C



B

View Key Plan

C



Perspectives

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CUATRO

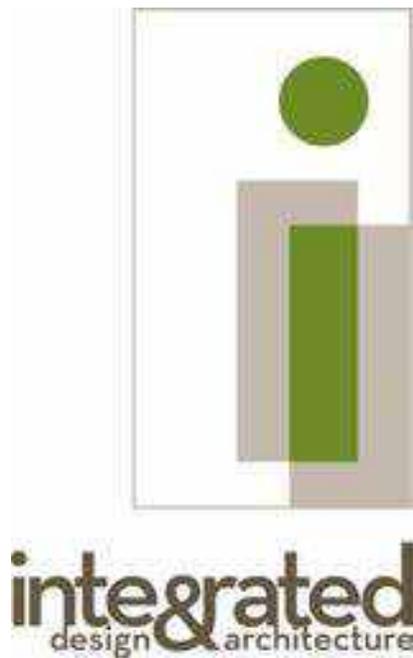
An Affordable Housing Apartment Complex

Developed by

G.A.H.P.

Greater Albuquerque Housing Partnership

OUTLINE SPECIFICATIONS



January 30, 2014

Note: These specifications are schematic and for the sole purpose of New Mexico Mortgage Finance Authority LIHTC Application. The final construction and permit specifications will be in detailed CSI format.

DIVISION I GENERAL REQUIREMENTS

- A. Summary of Work: CUATRO, An Affordable Senior Apartment Complex (“the project”), is a proposed 56-unit senior Low Income Housing Tax Credit (LIHTC) development on a .98 acre parcel. Associated site and infrastructure development that includes utilities, driveways, parking, walkways, and landscaping. The scope of work shall include complete buildings and site work as detailed below and on the drawings.
- B. Energy Efficient and Green Construction Practices: The project is designed to meet the minimum design criteria of a maximum 70 HERS index, and (at a minimum) LEED for HOMES LEED-H Certification. The Contractor has been a party to the LEED-H strategy meetings. A third party inspector will conduct inspections and testing on all residential units and the common area; including blower door, thermal bypass, infrared camera and other mechanical testing to insure compliance with the criteria above. Coordinate with the third party inspector. All corrective measures on defective workmanship or materials required to meet the LEED-H criteria are included within the scope of work. The LEED checklist is attached.
- C. Submittals: All items listed in construction documents shall be submitted to the Architect for review and written approval prior to fabrication or purchase. All LEED-H related products, procedures, checklists and systems require submittal via a project website.
- D. “Or Equal” Clause: Where a material, article or piece of equipment is identified on the drawings or specifications by reference to manufacturers’ or vendors’ names, trade names, catalogue numbers, etc., it is intended to establish a standard; and, any material, article, or equipment or other manufacturers and vendors which will perform adequately the duties imposed by the general design will be considered equally acceptable provided the material, article, or equipment so proposed, is, in the opinion of the Architect, of equal substance and function. It shall not be purchased or installed by the Contractor without the Architect’s written approval.
- E. Provide instruction at Substantial Completion and submit Operation and Training Manuals in three copies for:
 - 1) Building occupants (with DVD video recorded instruction).
 - 2) Building Manager (with required training session and DVD video).
- F. Durability Management: Coordinate with quality management procedures and provide durability documentation as required by (LEED-H ID 2.1, 2.2 & 2.3).
- G. Construction Waste: Document diversion rate of construction waste materials (LEED-H MR 3.1).

DIVISION III CONCRETE

- A. Concrete floor slabs, foundations, and stem wall: 2,500 psi type 2 concrete over earth compacted to 95% of maximum density. 3000 psi @ pavements. 25% fly ash content, locally-sourced cement and aggregate per (LEED-H standards, MR 2.2).
- B. Smooth-troweled slabs at all interior exposed concrete areas. Saw-cut 1/8" deep control joint pattern. Install radon-mitigation system below residential slabs per (LEED-H prerequisite EQ-9.1).
- C. 1" lightweight gypcrete concrete at 2nd floor, poured over ½ " Acoustimat over ¾" OSB deck with double bottom wall plates used as dams, typical new construction.
- D. No motor oil or other petrochemical shall be used on any form work as a bond breaker.

DIVISION IV MASONRY

- A. First floor structure, exterior walls, site privacy walls/refuse enclosure: reinforced CMU. Use locally available material. Finish: Burnished.

DIVISION V METALS

- A. Reinforcing steel: ASTM, A-615 and 616. Rebar also utilized for site fence pickets.
- B. Mesh reinforcement sheets: ASTM A-185.
- C. Steel plates: ASTM A283.
- D. Steel angles: ASTM A36.
- E. Bolts, nuts, washers: ASTM A325, galvanized at exterior locations indicated.
- F. Framing connectors: Simpson or equal.
- G. Pre-manufactured steel stairs (with precast concrete treads and steel risers, tube steel handrails and guardrails. Submit shop drawings. ASTM A 36.
- H. Window Awnings: 20 gallon galvanized perforated panel flat and box rib, McNichols Company or equal.

DIVISION VI WOOD, PLASTICS AND COMPOSITES

- A. FSC Preference: Provide suppliers with Notice of Preference for FSC products and request for country of manufacture for each wood product (LEED-H Prereq MR-2.1). Use no tropical wood to without FSC certification.

B. FRAMING/ROUGH CARPENTRY: Minimize framing waste per (LEED-H Prereq MR 1.1

- 1) Concealed headers and beams where indicated: "Parallam" and "Microllam" stress-rated components, as manufactured by Truss Joist-MacMillan or approved equal. Structural capacity and installation of such components shall be per manufacturer's specifications and prior approval by Architect.
- 2) Pre-manufactured, pre-engineered floor and roof trusses:
Floor trusses: 16" (min.) height. Roof trusses: 18" (min.) height. Provide openings for ducts. Roof pitch: per drawings, ¼"/ft. (min.) typical @ TPO roof. Submit engineered drawings for Building Permit approval.

Per Structural Drawings. Coordinate and provide openings for ducts where indicated. Roof pitch: per drawings @ TPO roof ¼"/ft. (min.) typical. Provide and submit engineered truss drawings for Building Permit and Architect approval.

- 3) Porch and exterior wall framing #2 or better, finger-jointed studs, OSB sheathing.

C. FINISH CARPENTRY:

- 1) Interior finish trim: Shop painted formaldehyde-free, moisture-resistant Medex or equal MDF 5- 1/8" x 5/8" painted formaldehyde-free MDF wall base, 2 ½" x 5/8" door casings. Prime 6 sides prior to installation
- 2) Interior Stairs: Handrails: 1-1/4" diameter steel, supports at 5'-0" o.c. maximum. Return all ends as required by building code.
Treads: Pre-cast concrete
Risers: steel 3/16" plate.
Stringers: steel ½" plate.
Rubber covering with low VOC adhesive Roppe or Equal. (LEED-H MR 2.2).
- 3) Pre-manufactured cabinets: Maple veneer with clear "natural" varnish finish, shaker panel-in-frame door/solid maple frame design, plywood box at wet cabinets and particle board at dry units and overlay construction. Side-mount drawer glides and adjustable concealed hinges. Adjustable shelves in wall cabinets. Fixed 4" wire pulls at all units. Shelf in base cabinet. Pull out shelves at HC units. Two adjustable shelves in wall cabinets. Full-height pantry cabinet with adjustable shelves where indicated. Leedo, Lanz, or equal. Seal all exposed sides and bottom of composite wood products with Safecoat Safeseal or equal before installation.
- 4) Kitchen and Bath countertops and backsplashes: Plastic laminate, post-formed, AWI "Economy" Grade, with waterfall edge and integral backsplash. Speed VOC-free adhesive, or Titebond solvent-free construction adhesive, Grip or equal. Counter and splash underlayments from formaldehyde-free composite wood (see 1 above), or completely sealed composite wood or solid wood products. Seal composite wood products with Safecoat Safeseal or equal.
- 5) Structural Adhesives: Low VOC per (LEED MR-2.2).

- 6) Shelving: Painted formaldehyde-free MDF board, Medita or equal with 1 x wall cleats. K&V or equal adjustable standards where noted on drawings. Solid wood closet hangar rods with combination steel brackets/shelf supports.

DIVISION VII THERMAL AND MOISTURE PROTECTION

A. INSULATION

- 1) Foam Sill Seal as manufactured by Protecto Wrap or equal @ exterior sill plates.
- 2) Self-adhering sheet waterproofing, as manufactured by Protecto Wrap or equal
- 3) Perimeter and under slab insulation. 1" Syrofoam Type X "Greyboard" or equal, (CFC-free).
- 4) Perimeter Stem Wall Insulation. 2" Styrofoam Type X "Blueboard" or equal.
- 5) Net and blown fiberglass R-21 at 2x6 exterior walls. Low-formaldehyde, local manufacture, and recycled content per (LEED MR-2.2).
- 6) R-50 blown insulation, at roofs. Low-formaldehyde, local-manufacture, and recycled content per (LEED MR-2.2).
- 7) Sound Batt: 3-1/2" fiberglass woven between staggered studs in common walls, and in all bathroom walls.
- 8) Expansive Foam: in all voids between window and door units and rough framing, including at sill & top plates, and around all exterior wall or ceiling penetrations for wiring and plumbing. Coordinate with thermal bypass inspection requirements.
- 9) Weather barriers, building wrap weather resistive barrier, Tyvek drain wrap & Tyvek stucco wrap or equal.
- 10) Fiber cement siding, trim and fasciae: "Hardie plank" HZ10 prefinished color plus or equal cement fiber board

B. ROOFING & WATERPROOFING

- 1) Coping Parapet Flashings: Pac-Clad or equal, 24 ga smooth steel Kynar finish. Install over building wrap and OSB sheathing or where indicated. Provide all accessories, flashings, and closure strips. Fasten with self-drilling stainless steel screws with neoprene washers. Continuous sealant or tape at all joints. Install per manufacturer's and SMACNA recommendations. Twenty-year warranty.
- 2) Wall siding, Trim and Flashings: James Hardi or equal, Artisan Lap Siding (HZ10) product line lap siding with horizontal reveals at 7" on center, Colorplus finishes as indicated. Install over building wrap and OSB sheathing or where indicated. Provide all accessories, and flashings with matching finish. Fasten with manufacturers self-drilling galvanized screws. Continuous sealant or tape at all

joints. Install per manufacturer's and SMACNA recommendations. Thirty-year warranty.

- 3) Scuppers, leaderheads, 26 gage Galvalume finish as indicated, finish steel. Continuous metal leaf screens at all leaderheads.

Provide all accessories, flashings, and foam closure strips with matching finish. Fasten with self-drilling stainless steel screws with neoprene washers. Continuous sealant or tape at all joints. Install per manufacturer's and SMACNA recommendations. Five-year warranty.

- 4) Roof Drains: Cast iron with leaf guard at roof drain
- 5) Single-ply roof: low-albedo (white surface) reinforced TPO. 20 year warranty, 60 mil. As manuf. by Firestone or equal.
- 6) Waterproof exterior decks: Pli-Dek or equal class A fire-rated system with textured elastomeric top coating and cementitious base coat over metal lath over marine grade $\frac{3}{4}$ " T & G marine grade plywood decking (typical at all decks) sloped at a minimum $\frac{1}{4}$ " per foot OR 2 $\frac{1}{2}$ " hard rock concrete over bitimum water proof membrane over $\frac{3}{4}$ " T & G marine grade plywood sloped at $\frac{1}{4}$ " per foot. To be determined based on at time project cost.

C. SEALANTS

- 1) At wall panels & associated accessories, and at concealed locations: clear silicone or polyurethane, low-VOC, (LEED-H MR 2.2).
- 2) Where painting is required and adjoining stucco or siding: Match color of paint with colored silicone or polyurethane sealant, or paintable sealant, low-VOC, typical.
- 3) Seal all exterior joints and all other junctions as necessary to obtain complete air and watertight construction. Comply with requirements of Energy Star 2.0 and LEED-H thermal bypass inspection. Seal around windows and doors, seal all plumbing and electrical conduit openings, around windows and under headers and sills, openings into attics or crawlspaces with taped polyethylene covered with insulation, and other measures to prevent moisture or pest intrusion.
- 4) Seal all plumbing fixtures with mildew-resistant bathroom silicone, low-VOC.

DIVISION VIII OPENINGS

A. DOORS

(Note: All doors minimum 32" clear opening. Meeting accessible requirements)

- 1) Exterior: Aluminum and Hollow Metal. Full weatherstripping, threshold, and sweep. Insulating low-e glass transoms where indicated, no muntins. 4" wall depth frames for recess detail.

- 2) French Patio door (units): Fiberglass-clad, insulated, no muntins. Provide full insect screen panel.
 - 3) Automatic glass bypass (entry vestibules) entrance door. Stanley Dura-Glide 3000 series doors.
 - 4) Glass in 2 & 3 above: 5/8" tempered low-e insulating glass. Tinted at all west orientations with SHGC of 40%.
 - 5) Interior: Colonist or equal hardboard solid core panel doors fire rated front entry door (unit), hollow core at interior doors. 4 panel, 1-3/8" thick. Masonsite or equal
 - 6) Hardware: Schlage heavy-duty residential grade at dwelling units, lever-type, design handles. Light commercial grade at first floor and offices.
 - a. Exterior doors: Entrance lockset, "Maximum Security" single keyed deadbolt w/ thumb latch, 6-pin, keyed to master system. Security eye viewer, full weatherstrip and 1/2" threshold.
 - b. Closet and Laundry doors: Passage latch.
 - c. Bathroom and Bedroom doors: Privacy latch.
 - 7) Exterior utility doors at office, first floor, storage, bicycle storage: 18 gage insulated hollow metal in 16 gage hollow metal frames.
 - 8) Office exterior: Kawneer thermally-broken aluminum storefront system with low-e glass. (courtyards)
 - 9) Office interior: 18 gage hollow metal frames with hardwood veneer solid core doors.
 - 10) Deck Shoji Sun Screens: (west facing decks) 3" aluminum frame Ritescreen or equal.
- B. WINDOWS: See plans and elevations for size. Insulating low-e glass, vinyl, and thermal aluminum without muntins. Infiltration 0.32 cfm/sf (maximum). U=0.4 (maximum). SHGC 35%. Tinted glass at all west orientation SHGC 40%. Cascade or approved equal. U=.32 SHGC = .4 Provide insect screen in matching aluminum frame.
- C. GLASS BLOCK: Acrylic, Prestige II Vinyl frame windows, as manuf. by Acrylic Block for Less or Equal
- C. MIRRORS: 3/16" thickness, mirrors at bathroom vanities, 36" height x 24" or width of vanity cabinet, clip installation.

DIVISION IX FINISHES

- A. GYPSUM BOARD: Light spray "orange peel" finish. Locally-produced standard board, except water resistant and smooth skim-coat finish at Baths, Kitchen sink, and Laundry. 5/8" type X board typical. 5/8" type X paperless at wet areas. Three-way wrap at windows.

B. LATH & PLASTER:

- 1) Stucco: ½” fiber-reinforced two-coat over Tyvek StuccoWrap. ½” rigid insulation. All materials, installation and curing per or STO cement plaster specifications. STO or equal prior-approved finish coat manufacturer. Utilize diamond-mesh strip lath diagonally across all opening corners and at all corners of changes in wall plane. Provide two year warranty on material and installation. Square corners typical control and expansion joints (metal), including recessed door and window details.

C. FLOORING

- 1) Porcelain Tile (Units & Halls): 12” x 12” thin set over Ditra. (LEED-H MR 2.2).
- 2) Vinyl Planks: (Office & Commons): 6’ x 82’ Rejuvenations “TimberLine” as manufactured by Armstrong or equal. (LEED-H MR 2.2).
- 3) Rubber: (stairs) 12”x12” and base at exercise and other rubber flooring accessories: low-VOC adhesives, Roppe or equal. (interior stairs) (LEED-H MR 2.2).
- 4) All flooring adhesives: Low-VOC. (LEED-H MR 2.2).
- 5) Exposed concrete floors where indicated (storage & bicycle) : Seal with low-VOC sealant, two coats (one after installation, one as final finish). Protect floor surfaces during construction to prevent damage and staining from food, drinks, drywall and painting operations. Do not use red snap-line chalk or pencil markings on concrete floors to be exposed.

D. PAINT & STAIN: Low-VOC throughout per (LEED MR 2.2). (Benjamin Moore, Sherwin Williams, KWAL or equal). Submittal required .

- 1) Interior Trim: Primer/two coats latex semi-gloss.
- 2) Interior Walls: Primer + two coats eggshell latex, except satin @ wet areas (Kitchen, Baths, Laundry). Low-VOC.
- 3) Drywall ceilings: Primer + two coats eggshell latex, low-VOC.
- 4) Interior Caulk: latex/acrylic, white paintable, low-VOC.
- 5) Seal around water closet bases, tubs, and showers with white silicone tub and tile caulk, low VOC.
- 6) Exterior columns and steel: Two coats exterior latex, low-VOC, over pre-primed steel.

DIVISION X SPECIALTIES

A. BATHROOM ACCESSORIES:

- 1) Medicine cabinet: Plastic body with mirror 18" x 36".
- 2) Towel holders: Two per bathroom. Basco or equal. Wing-type drywall anchors. Coordinate exact location in field with Architect.
- 3) Toilet tissue holder: 1" chrome semi-recessed type. Basco or equal. One holder per water closet. Coordinate exact location in field with Architect.
- 4) Shower Curtain rods: adjustable aluminum, Basco or equal.
- 5) PVC fluted grab bars at fully accessible units, AKW or equal.
- 6) PVC fluted vertical grab bars at all tub/shower and toilet, AKW or equal.
- 7) Towel Hooks: chrome Basco or equal.

B. USPS - DELIVERY POSTAL SPECIALTIES: Auth-Florence or equal. Individual letter boxes, parcel and collection boxes.

C. SIGNAGE: Dimensional letter signage and plaques, Gemini or equal.

D. DIRECTORIES: Creative Sign Designs or equal

E. Wall and Door Protection, stainless steel corner guards as needed.

F. Fire Extinguishers: Larson or equal.

DIVISION XI EQUIPMENT

A. PROJECTION SCREENS

- 1) Da-Lite or equal

B. RESIDENTIAL APPLIANCES

- 1) Dishwasher: Model GSD3300DWW, as manufactured by GE or equal, Energy Star Rated.
- 2) Electric Range: Model JB250DFWW as manufactured by GE or equal, not Energy Star Rated
- 3) Electric Range: Model JDS28DN as manufactured by GE or equal, not Energy Rated, ADA Compliant
- 4) Refrigerator: Model GTH18EBEWW as manufactured by GE or equal, Energy Star

Rated, ADA Compliant 18.0 Cu. Ft.

- 5) Refrigerator: Model GTH21GBEWW as manufactured by GE or equal, Energy Star Rated, 21.0 Cu. Ft.
- 6) Range Hood Ventilated: Model JVE40DTWW as manufactured by GE or Equal, Energy Star Rated
- 7) Washer: Model GHWN4250DWW as manufactured by GE or equal, Energy Star Rated
- 8) Waster: Model GFWN1100DWW as manufactured by GE or equal, Energy Star Rated, ADA Compliant
- 9) Dryer: Model GFDN110EDWW as manufactured by GE or equal, Not Energy Star Rated, ADA Compliant
- 10) Dryer: Model GTDX400EDWS as manufactured by GE or equal, not Energy Star Rated

C. APPLIANCES FOR COMMUNITY

- 1) Refrigerator: Model GTH18EBEWW as manufactured by GE or equal, Energy Star Rated, ADA Compliant 18.0 Cu. Ft
- 2) Dishwasher: Model GSD3300DWW, as manufactured by GE or equal, Energy Star Rated
- 3) Coin operated clothes washer and gas dryers to be supplied by management agency's contract vendor.

DIVISION XII FURNISHINGS

- A. Horizontal Louver Blinds: 1" metal as manufactured by Levolor or equal

DIVISION XIV CONVEYING EQUIPMENT

- A. Electric traction elevator as manufactured by Otis or equal
- B. Electric traction freight elevator as manufactured by Otis of equal.
- C. Trash chutes as manufactured by Chutes or equal.

DIVISION XV MECHANICAL

- A. PLUMBING FIXTURES (prior approval required for all substitutions).

P-1 Water Closet

American Standard Bowl Champion WHI (1.6 GPF average flush), 16" height at all locations. (EGC 4.1)

American Standard Tank WHI (1.6 GPF)

American Standard or equal wood

Hercules Bowl Wax Ring 90214 Regular W/Bolts

CLO KIT 5/8x3/8x12 PC W/ANG Stop OCR1912DLC

P-2 Lavatory

American Standard Lav WHI Oval

Delta Lav Fct PC Tract-Pact Sgl Hdl 1.0 GPM) (EGC 4.2).

LAV KIT 5/8 x 3/8 x 12 PC w/Ang Stop OCR1912AC

Dearborn PTRAP 11/2 2702 PC 22 GUA

P-4 Kitchen Sink

Sterling Pro SS Sink 33x22 18 GAU, Shallow bowl at Accessible Unit

Delta Sink Fct 100TP PC Tract-Pack Sgl Hdl (1.5 GPM). (EGC 4.2).

Insinkerator Disp 1/3 HP BDG5 " Badger 5"

DB BSKT STR L7 L/Tailpiece

AIR GAP PLAS BC9441

Supply all trim for hook up

P-5 Hot Water Heater (typical at dwellings). Bradford White 50 gallon or equal, 0.92 EF or equivalent.

P-6 Hot Water Heater (Community) Bradford White 80 gallon 0.92 EF or equivalent. With Chromagen collectors.

P-7 Roll-in-Shower: Aquatic 1603BSFB /White, with Delta single-handle lever faucet, 2.0 gallon / minute showerheads, maximum 2.0 gallon / minute faucet, with stainless steel grab bars, hand held shower faucet, and accessible shower seat per ANSI requirements.

P-8 Shower-Tub: Aquatic 2603CTH /White, with Delta single-handle lever faucet, 2.0 gallon / minute showerheads, maximum 2.0 gallon / minute faucet, with stainless steel grab bars and hand held shower faucet per ANSI requirements.

PLUMBING GENERAL (prior approval required for all substitutions).

B. PLUMBING

- 1) Supply piping: PEX, with 1" insulation on all hot and cold supply lines. Hot water piping shall be run above slab in the most direct route possible to fixtures from hot water heaters. r4 hot water pipe insulation.
- 2) Waste piping: ABS plastic. Use re-vents as required for no more than (1) roof penetration per dwelling. Insulate vertical waste stacks carefully for sound absorption in all living space walls downstairs.
- 3) Hot water heater: 40 and 119 gal electric DOE, ASHRAE standard 90.1 b as

manufactured by Bradford White or equal.

- 5) Frost proof hose bibs. Tees in main yard line for drip irrigation system.
- 6) Recessed rough-in boxes and fiberglass pans at washing machine locations.
- 7) All plumbing work shall conform to the "Uniform Plumbing Code".
- 8) All exposed supplies to sinks, water closets and lavatories shall have chrome plated wheel handle stops.
- 9) Piping will be provided for an active solar hot water system for common area.

DIVISION XXI FIRE SUPPRESSION

- A. Fire Protection Systems: Addressable systems designed to meet the requirements of the occupancy and use throughout the facility to include residences, common assembly space, utility rooms, elevator recall, etc..
 - 1) Fire Alarm and annunciation: NFPA 72 The system includes a fire control panel, supervisory central alarm panel, and smoke detection
 - 2) Fire Suppression: NFPA 13 R, wet system. fire pump (as required), fire riser, pipe distribution throughout, spray nozzles,.

DIVISION XXIII HEATING, VENTILATING AND AIRCONDITIONING

- A. Heating and Air conditioning
 - 1) First floor Common areas/Office areas
 - a) Dedicated (separate) 7.5 Rton (Rheem) Heat pumps serve buildings 1 and 2, EER 11.0, COP 3.3 / 2.2, supplemental electric heat by zone. Automatic setback thermostat controls. supplemental electric heat. Enhanced filtration per (LEED-H EQ 7.2)
 - b) First Floor Exercise area 10.0 Rton (Rheem) Heat pump serving building 3 EER 11.0, COP 3.3 / 2.2. supplemental electric heat by zone. Automatic setback thermostat controls. supplemental electric heat. Enhanced filtration per (LEED-H EQ 7.2)
 - 2) Hallways 2nd through 4th levels
 - a) Passive heating / cooling. Exhausted through HVAC chase at ASHRAE 62.1 rates. Roof mounted exhaust fan. HVAC min 13 SEER, 82. HSPF, 4 SEER 8.6 HSPF
 - b) Passive Cooling Tower: (public halls & bridge) Cool Tower Design, commercial evaporative cooler pads, evaporative cooler pump and float assembly.

- 3) Apartments
- a. Dedicated (separate) Sized based on design load (Rheem) Heat pump with minimum SEER 14 rating. Automatic setback thermostat controls. supplemental electric heat. Enhanced filtration per (LEED-H EQ 7.2)
 - B. Ventilation: Exhausts to exterior from bathrooms: Panasonic or equal Energy Star rated, sized per manufacturer's recommendation for room size and with occupancy sensor switches. Recessed dryer vent. Ducted Range exhaust: see kitchen appliances in Div. XI. All exhausts ducted to wall or roof hoods with dampers. Comply with SHRAE 62.1 for airflow, design and installation.
 - C. Ductwork shall be in accordance with the "National Sheet Metal Contractors Association Standards". Ductwork in unheated areas must be insulated at R-6 (minimum). Duct system shall be sized, designed, and installed using latest ANSI / ACCA Manual D. Seal air duct joints with duct mastic and fiberglass mesh to provide proper air pressure and high efficiency. Duct leakage will be less than 3 cfm/100 SF.
 - D. Cooling: SEER 14 MIN., 8.6 HSPF Ceiling fans in living and bedrooms: Energy Star rated.
 - E. Installation of mechanical systems shall be made in accordance with factory requirements and recommendations. Submit detailed shop drawings and equipment schedule for approval prior to ordering or fabrication.
 - F. Installation of mechanical systems shall be made in accordance with all applicable local, state, and national codes including energy codes. Submit inspection certificates signed by local authorities to verify that the system has received local approval.
 - G. Test & balancing: Residential units: blower door test required. All buildings are designed to pass test with maximum .35 natural air changes / hour.
 - H. The Contractor shall instruct the Owner in the proper and most efficient operation and maintenance of the system and provide a DVD video of the instruction session(s). At the same time as instruction, the Contractor shall review and deliver to the Owner system operating and maintenance information furnished by the manufacturer, and shall give the Owner all warranty data covering installed equipment.
 - I. Radon-resistant rock bed system with PVC vent pipe to roof and electrical rough-in on roof for possible future exhaust fan.

DIVISION XXVI ELECTRICAL

- A. All installations shall be per Code.
- B. Lighting: fixtures in bathrooms shall be water-resistant type with acrylic lens. Residential fixtures and ceiling fans selected by Architect and Owner for Contractor purchase and installation; include \$400 per residence allowance for these fixtures. All new residential fixtures Energy Star rated. All exterior features Energy Star or high

efficiency commercial and fully-shielded. Maximum height 16' exterior pole fixtures.

- D. Provide underground entrance cable from utility company's transformer to meter base. Coordinate all transformer and meter locations with utility and Architect.
- E. Electrical includes Energy Star overhead ceiling fans, telephone rough-in, wiring and face plates, Internet service rough-in, CAT-6 cable TV rough-in, and doorbell equipment and installation. One telephone/data outlet and video outlet per bedroom.
- F. Electrical installation includes rough-in to roof for possible future installation of radon exhaust fan. (Fan and connection not in contract.)
- G. Hard-wired combination smoke/carbon monoxide, 120 volt, battery backup detector in each sleeping area. All detectors in an apartment shall be monitored by the fire control panel.
- H. Photovoltaic Collectors: Electrical installation includes rough-in to roof for Photovoltaic (PV) installation. Design based on design/build installation maximizing roof area, 20 year warranty

DIVISION XXVIII ELECTRONIC SAFETY AND SECURITY

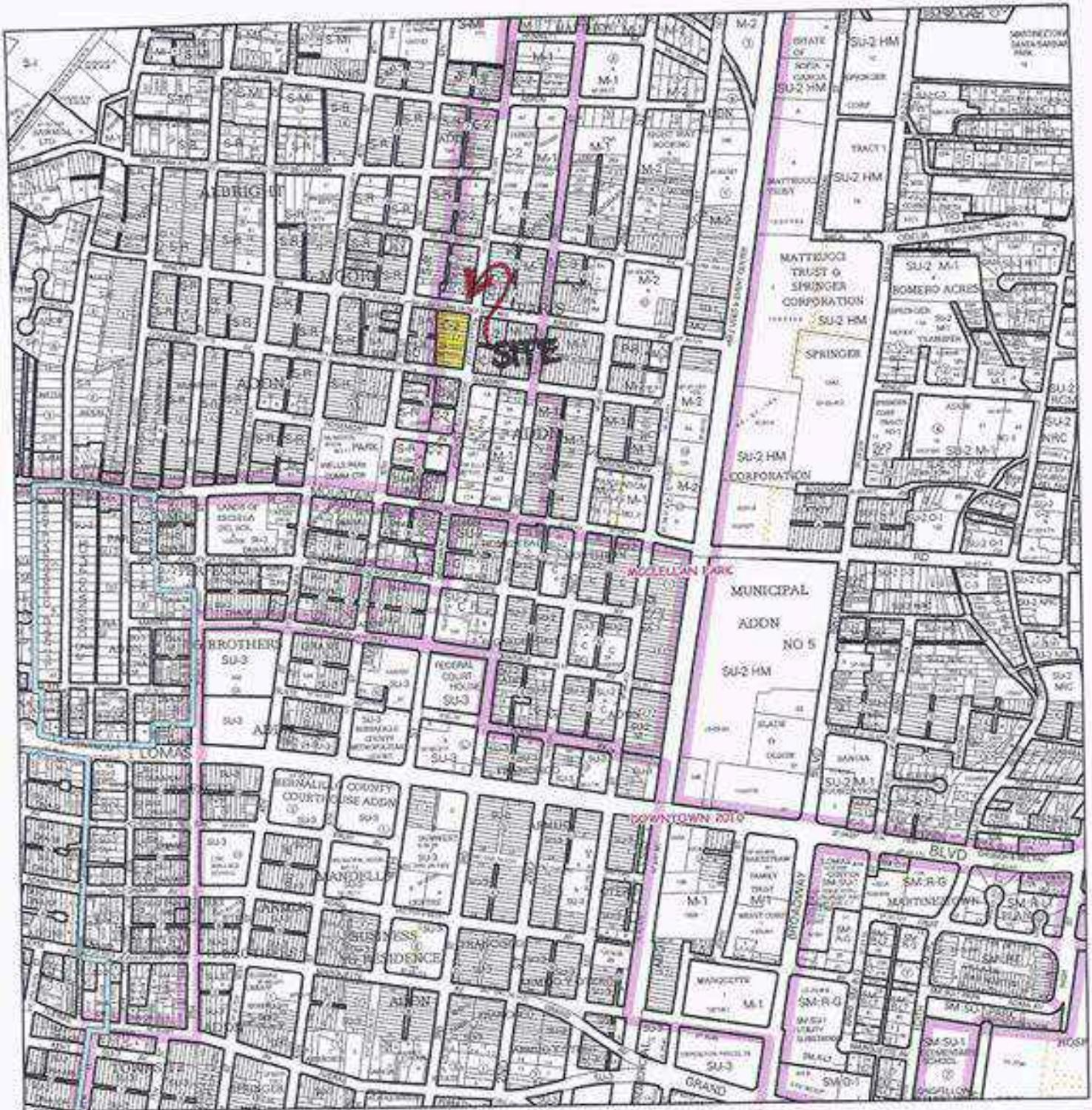
- A. Security System: Web based Digital controlled gate & door access, intrusion and full camera coverage tied back to the office rack mounted server with digital DVD recorder.

DIVISION XXXII EXTERIOR IMPROVEMENTS

- A. Complete civil engineering and site construction documents including drainage report, grading and drainage design drawings and specifications will be provided and included as part of the contract in accordance with the requirements of the City of Albuquerque, LEED-H procedures and as set forth in the geotechnical investigation to be procured by the Owner. Phase I & II environmental assessment reports have been conducted by Owner and there are no environmental issues that need addressing.
- B. Site preparation and Drainage: Vegetation in areas not requiring grading or construction shall be protected and left undisturbed. Temporary erosion control downhill of all disturbed areas for the duration of the contract per the requirements of the Storm Water Pollution Prevention Plan. Provide positive drainage of water from all buildings, in accordance with recommendations set forth in the geotechnical report and grading plan. A Storm Water Pollution Prevention Plan will be developed as required by the U.S. Environmental Protection Agency. Surface water management to be designed to capture first ½ of rainfall that falls within a 24-hour period.
- C. Site Utilities: Review and coordinate with all wet and dry utility service providers as required to tie into their existing systems and provide adequate services for the project under the provisions of their system requirements below.
- D. Hard paved flatwork, curbs and drive pads: 3000 psi 4" concrete, 25% fly ash content

(LEED-H MR 2.2)

- E. Earthwork: Per recommendations of geotechnical report and (LEED-H prerequisite SS-1.1). Implement erosion and sedimentation control (ESC) plan. Stockpile and protect topsoil, control runoff, protect storm sewer inlets per (LEED-H, SS-1.1).
- F. Walkways: New concrete sidewalks 3000 psi 4" concrete, Specification per City standards in City rights-of-way.
- G. Driveways and Parking: Fractured compacted gravel, asphalt and concrete paving over compacted base and subgrade as required by Geotechnical investigation
- H. Grading and Drainage: Surface drains and site storm drains to designated master plan drainage basins and City storm sewer off-site, with on-site retention in selected landscape areas and parking area. Follow site drainage design by civil engineer to manage all runoff via on-site design elements that allow infiltration to groundwater, assist landscape irrigation, eliminate erosion, and slow discharge.
- I. Landscape and Irrigation: See Landscape Plan for planting materials and plant species. No invasive plant species (LEED-H 2.1 Prereq). Landscape and irrigation design stamped and certified by Landscape Architect to meet City & (LEED-H SS 2.2, 2.3 &, 2.4 & WE 2.1) requirements. Xeric and low-water use species for 90% of plantings. Predominately drip irrigation with master shutoff valve, PRV, and rain delay sensor. Highest efficiency turf heads. Synthetic turf utilized for putting green and croquet lawn areas.
- J. Water Feature: Dual spillway water fall and white noise feature, recycle water.
- K. Chain link fencing (storage rooms): 8' high chain link with mesh heavy-duty with heavy-duty galvanized steel for the components
- L. Decorative metal fences and gates: Tubular steel frame with 12" tall steel plate bumper with steel rebar "pickets" attached to heavy-duty sealed adjustable hinges and tube steel post. Automatic gate control key and pressure pad.
- M. Site Furnishings
 - 1) Bicycle rack – galvanized steel grid bike rack by Glosal or equal.
 - 2) Trash compactor: roll off self-contained compactor 20 Cu. Yd. capacity manufactured by Marathon Equipment Co. or equal.
 - 3) Gas Grill: Tru-Infrared gas as manuf. by Char-Broil Red or equal.
 - 4) Picnic Tables & Seats to be provided as part of furnishings.



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 6/7/2013

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
J-14-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet